

MULTI-FAMILY RESIDENCE

21 UNITS AT
556 El Camino Real
BURLINGAME CA 94010



REVISION	BY
1	XXXXX

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556 EL CAMINO REAL
 BURLINGAME, CA

DATE	09/01/15
SCALE	N.T.S.
DRAWN	VMK
JOB	ROMAN
SHEET	A-00
OF	SHEETS

TITLE SHEET

REVISION	BY
PLANNING	
09/07/2015	VMK
FIRE DIVISION	
11-09-2015	
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ABBREVIATIONS

ACOUS.	ACOUSTICAL	H.B.	HOSE BIBB	SIM.	SIMILAR
AB	ANCHOR BOLT	H.C.	HOLLOW CORE	S.N.D.	SANITARY NAPKIN DISPENSER
AD.	AREA DRAIN	HDWD.	HARDWOOD	S.N.R.	SANITARY NAPKIN RECEPTACLE
ADJ.	ADJUSTABLE	HDR.	HEADER		
AGGR.	AGGREGATE	H.M.	HOLLOW METAL		
AL.	ALUMINUM	HORIZ.	HORIZONTAL		
ANOD.	ANODIZED	HR.	HOUR		
APPROX.	APPROXIMATE	HGT.	HEIGHT	SPEC.	SPECIFICATION
ARCH.	ARCHITECTURAL	ID.	INSIDE DIAMETER	SQ.	SQUARE
ASPH.	ASPHALT	INSUL.	INSULATION	STD.	STANDARD
BD.	BOARD	INT.	INTERIOR	STL.	STEEL
BLDG.	BUILDING	JAN.	JANITOR	STOR.	STORAGE
BLK.	BLOCK	JT.	JOINT	STR.	STRUCTURAL
BLKG.	BLOCKING	KIT.	KITCHEN	SUSP.	SUSPENDED
BM.	BEAM	LAB.	LABORATORY	T.B.	TOWEL BAR
BOT.	BOTTOM	LAM.	LAMINATE	T.B.N.	TYP. BOUNDARY
CAB.	CABINET	LAV.	LAVATORY	T.C.	TOP OF CURB
CB.	CATCH BASIN	LAV.	LAVATORY	TEL.	TELEPHONE
CEM.	CEMENT	LAV.	LAVATORY	TEN.	TYP. EDGE
CER.	CERAMIC	LT.	LIGHT	T. & G.	TONGUE & GROOVE
C.I.	CAST IRON	LT. WT.	LIGHTWEIGHT	THK.	THICK
C.J.	CONSTRUCTION JOINT	MAX.	MAXIMUM	TFP.	TOP OF PAVEMENT
CLG.	CEILING	M.B.	MACHINE BOLT	T.P.D.	TOILET PAPER DISPENSER
CLKG.	CAULKING	M.C.	MEDICINE CABINET	T.V.	TELEVISION
CLR.	CLEAR	MECH.	MECHANICAL	TW.	TOP OF WALL
COL.	COLUMN	MEMB.	MEMBRANE	TYP.	TYPICAL
CONC.	CONCRETE	MET.	METAL	U.ON.	UNLESS OTHERWISE NOTED
CONN.	CONNECTION	MFR.	MANUFACTURER	VAT.	VINYL ASBESTOS TILE
CONT.	CONTINUOUS	M.H.	MANHOLE	VERT.	VERTICAL
CONR.	CORRIDOR	MIN.	MINIMUM	VEST.	VESTIBULE
CO.	CLEAN OUT	MIR.	MIRROR	W.	WEST
CTSK	COUNTERSUNK	MISC.	MISCELLANEOUS	W.C.	WATER CLOSET
CNTR.	COUNTER	MUL.	MULLION	WD.	WOOD
CTR.	CENTER	N.	NORTH	WH.	WATER HEATER
DBL.	DOUBLE	N.C.	NOT IN CONTRACT	W/O	WITHOUT
DEPT.	DEPARTMENT	NO. OR #	NUMBER	W/P.	WATERPROOF
D.F.	DRINKING FOUNTAIN	NOM.	NOMINAL	W/SCOT	WAINSCOT
DET.	DETAIL	N.T.S.	NOT TO SCALE	WT.	WEIGHT
DIA.	DIAMETER	OB.	OVER	WWM.	WELDED WIRE MESH
DIM.	DIMENSION	OBS.	OBSOLETE		
DISP.	DISPENSER	O.C.	ON CENTER		
DN.	DOWN	O.D.	OUTSIDE DIAMETER		
DR.	DOOR	OFF.	OFFICE		
DWR.	DRAWER	OPP.	OPPOSITE		
D.S.	DOWNSPOUT	PL.	PLATE		
DWG.	DRAWING	P. LAM.	PLASTIC LAMINATE		
E.	EAST	PLAS.	PLASTER		
EA.	EACH	PLY.	PLYWOOD		
EJ.	EXPANSION JOINT	PW.	PAINT		
EL.	ELEVATION	PWF.	POUNDS PER SQ. FOOT		
ELEC.	ELECTRICAL	P.S.I.	POUNDS PER SQ. INCH		
ELEV.	ELEVATOR	PT.	POINT		
EMER.	EMERGENCY	P.T.D.	PAPER TOWEL DISPENSER		
EP.	ELEC. PANELBOARD	P.T.D./R.	PAPER TOWEL DISP. & RECEPTACLE		
EQ.	EQUIPMENT	PTN.	PARTITION		
EQUIPT.	EQUIPMENT	P.T.R.	PAPER TOWEL RECEPTACLE		
E.W.C.	ELEC. WATER HEATER	RAD.	RADIUS		
EXST.	EXISTING	R.D.	ROOF DRAIN		
EXPO.	EXPOSED	REFR.	REFRIGERATOR		
EXP.	EXPANSION	REINF.	REINFORCED		
EXT.	EXTERIOR	REQ.	REQUIRED		
FA.	FIRE ALARM	RESIL.	RESILIENT		
F.D.	FLOOR DRAIN	R.O.	ROUGH OPENING		
FDN.	FOUNDATION	RUD.	REDWOOD		
FE.	FIRE EXTINGUISHER	R.W.L.	RAIN WATER LEADER		
FE.C.	FIRE EXTING. CABINET	S.	SOUTH		
F.H.C.	FIRE HOSE CABINET	S.B.	SOLID BLOCKING		
FIN.	FINISH	S.C.	SOLID CORE		
FL.	FLOOR	S.C.D.	SEAT COVER DISP.		
FLASH.	FLASHING	SCHED.	SCHEDULE		
FLUOR.	FLUORESCENT	S.D.	SOAP DISPENSER		
F.O.C.	FACE OF CONCRETE	SECT.	SECTION		
F.O.F.	FACE OF FINISH	SHT.	SHEET		
F.O.S.	FACE OF STUDS				
F.PRF.	FIREPROOF				
FT.	FOOT OF FEET				
FTG.	FOOTING				
FURR.	FURRING				
GA.	GAUGE				
GALV.	GALVANIZED				
G.I.	GALVANIZED IRON				
G.B.	GRAB BAR				
GL.	GLASS				
GR.	GRADE				
GYP.	GYPSPUM				
GWB.	GYPSPUM WALLBOARD				

LEGEND

	EARTH
	ROCK
	SAND, MORTAR PLASTER
	MASONRY
	CONCRETE
	(E) STUD WALL
	(N) STUD WALL 2x4 @ 16" O.C. U.O.N.
	WALL w/ BATT INSULATION
	METAL
	WOOD, FINISH
	WOOD, FRAMING
	WOOD, BLOCKING
	GYPSPUM WALLBOARD
	RIGID INSULATION
	PLYWOOD
	ACOUSTIC TILE
	A.C. PAVING

PROJECT DATA

CUREANT CODES:
2013 CALIFORNIA BUILDING, MECHANICAL, PLUMBING, ENERGY AND ELECTRICAL CODES
2013 California Building Code, 2013 California Residential Code (where applicable), 2013 California Mechanical Code, 2013 California Electrical Code, and 2013 California Plumbing

BUILDING CONSTRUCTION TYPE: TYPE- VA (R-2,B), TYPE IA (S-2)
TYPE OF OCCUPANCY CLASSIFICATION: S-2/B/R-2
FIRE-SPRINKLERED EXISTING STORIES: YES TWO
A.P.N.: 029-111-260
EXISTING ZONING: R3
EXISTING LAND USE: MULTI-FAMILY
PROPOSED ZONING: MULTI-FAMILY
PROPOSED LAND USE: 21 CONDOMINIUM UNITS
TOTAL AREA: 15,107 SF (0.35 ACRES)
HEIGHT: 55'
TOTAL ACCESSIBLE PARKING: 41 STALLS
TYPE OF CONSTRUCTION: IIB WITH 2 HOURS RATED EXTERIOR WALLS (FIRE RETARDANT)

PROJECT TEAM

BUILDING DESIGN
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LANDSCAPE
 L-1 LANDSCAPE PLAN

ALLOWABLE AREA ANALYSIS

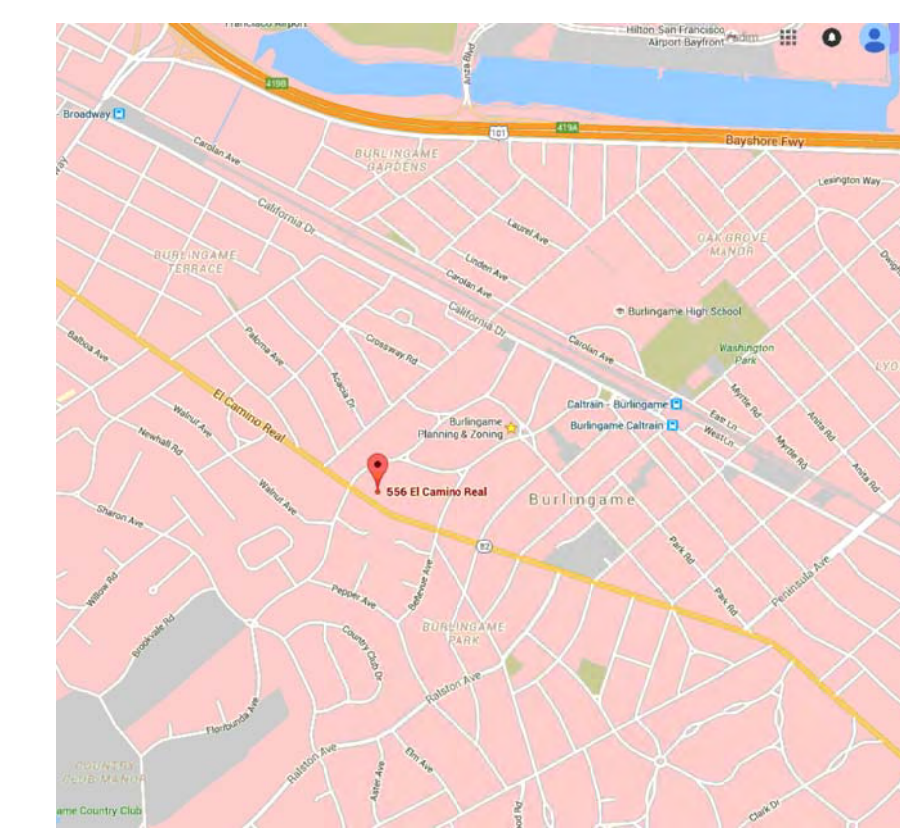
- Occupancy group: Residential units R-2, Parking garage S-2.
- Type of construction: Type IIB with 2 hour rated exterior walls (fire retardant as per sec.602.3).
- Allowable area: 16,000X2 stories = 32,000 sf (without increase due to frontage) for R-2 occupancy. Garage is type IA and unlimited.
- Proposed area: 29,070 sf
- Allowable height: 55 feet as per Table 503, 5 stories (4 stories permitted with 1 story increase due to sprinklers as per sec.504.2).
- Proposed height: 55 feet, 5 stories for R-2 occupancy. Garage S-2 is unlimited.
- Proposed fire separation distances: Not used, see item c above.
- Exterior wall and opening protection: All exterior walls are 2 hour rated as per Table 601.
- Allowable opening protection: from 10 to less than 15 feet 45% unprotected openings in the wall and 15' to less than 20 feet 75% unprotected openings as per Table 705.8.

SCOPE OF WORK

NEW PROPOSED 21 UNITS

UTILITIES:
WATER SUPPLY: BURLINGAME WATER DEPARTMENT
FARE PROTECTION: CITY OF BURLINGAME
SEWAGE DISPOSAL: CITY OF BURLINGAME
STORM DRAIN: CITY OF MENLO PARK
GAS & ELECTRIC: PACIFIC GAS & ELECTRIC
CABLE TELEVISION: COMCAST

VICINITY MAP



"Any hidden conditions that require work to be performed beyond the scope of the building permit issued for these plans may require further City approvals including review by the Planning Commission." The building owner, project designer, and/or contractor must submit a Revision to the City for any work not graphically illustrated on the Job Copy of the plans prior to performing the work.

- There are five access regulations that may apply to a multi-family residential project in California:
- The Architectural Barriers Act of 1969 (ABA)
 - Section 504 of the Rehabilitation Act of 1973
 - The Fair Housing Act (FHA)
 - The Americans with Disabilities Act (ADA)
 - The California Building Code (CBC), Chapters IIA and II B.

Any public money, of any kind, will or will not be used to construct this project.

On the first page of the plans clearly state if an application for ANY tax credits have or will be submitted for tax rebates.

NOTE: See the 2015 California Code of Regulations, Title IV, ?1 0325 (f)7 (K). In part: "All tax credit recipient projects shall adhere to the provisions of California Building Code 11 (B) regarding Q accessibility to privately owned housing made available for public use."

21 UNIT CONDOMINIUM 556 EL CAMINO REAL BURLINGAME, CA FOR ROMAN KNOP 261 17TH STREET SAN FRANCISCO, CA 94121 PH: (415) 516-5180

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MENLO PARK, CA 94025

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OF	SHEETS

GENERAL NOTES

2013 CALIFORNIA BUILDING, MECHANICAL, PLUMBING, ENERGY AND ELECTRICAL CODES
 2013 California Building Code,
 2013 California Residential Code (where applicable), 2013 California Mechanical Code, 2013 California Electrical Code, and 2013 California Plumbing
 2013 California Energy Building Codes.
 Code, including all amendments as adopted in Ordinance 1889.
Note: If the Planning Commission has not approved the project prior to 5:00 p.m. on December 31, 2013 then this project must comply with the 2013 California Building Codes.

THE GENERAL CONTRACTOR SHALL CAREFULLY INSPECT ALL EXCAVATION WORK FOR COMPLIANCE TO REQUIREMENTS OF THE PREVAILING BUILDING CODE. SHOULD ANY CONDITIONS APPEAR QUESTIONABLE, SUCH AS: EXCESSIVE DAMPNESS, GRANULAR COMPOSITION, SLOUGHING, SOFTNESS OR OTHER DEFECTS, THE GENERAL CONTRACTOR SHALL CONTACT THE ARCHITECT.

ALL INFORMATION PERTAINING TO THE SITE SHALL BE THE OWNER'S RESPONSIBILITY. THIS INFORMATION SHALL INCLUDE: LEGAL DESCRIPTION, DEED RESTRICTIONS, EASEMENTS, SITE SURVEY, TOPOGRAPHIC SURVEY, POSITION OF EXISTING IMPROVEMENTS, SOILS REPORT, AND ALL RELATED DATA. THESE DOCUMENTS HAVE BEEN PREPARED ON THE INFORMATION PROVIDED TO THE ARCHITECT.

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.

NO GUARANTEE FOR QUALITY OF CONSTRUCTION IS IMPLIED BY THE ARCHITECTURAL DOCUMENTS, AND THE GENERAL CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.

THE OWNER & CONTRACTOR AGREES TO INDEMNIFY, DEFEND, & HOLD THE ARCHITECT (VTK DESIGN GROUP), HARMLESS FROM AND AGAINST ANY AND ALL CLAIMS, LIABILITIES, SUITS, DEMANDS, LOSSES, COSTS, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES AND ALL LEGAL EXPENSES AND FEES INCURRED ON APPEAL, AND ALL INTEREST THEREON, ACCORDING OR RESULTING TO ANY AND ALL PERSONS, FIRMS, OR ANY OTHER LEGAL ENTITY ON ACCOUNT OF ANY DAMAGE TO PROPERTY OR PERSONS, INCLUDING DEATH, ARISING OUT OF THE PERFORMANCE OR NON-PERFORMANCE OF OBLIGATIONS UNDER THIS AGREEMENT, EXCEPT WHERE THE ARCHITECT IS FOUND TO BE SOLELY LIABLE FOR SUCH DAMAGES OR LOSSES BY A COURT OR FORUM OF COMPETENT JURISDICTION.

THE GENERAL CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT SUPPLIED BY THE OWNER OR OTHERS, WITH THE MANUFACTURER OR SUPPLIER, PRIOR TO THE START OF RELATED WORK.

DO NOT ACCUMULATE TRASH OR DEBRIS ON SITE. PROMPTLY REMOVE MATERIAL FROM SITE PER LOCAL ORDINANCE.

THESE DRAWINGS ARE, AND SHALL REMAIN, THE PROPERTY OF THE ARCHITECT. ANY USE OR REPRODUCTION IN WHOLE OR PART BY ANYONE WITHOUT PERMISSION OF THE ARCHITECT, SHALL BE STRICTLY FORBIDDEN.

ALL DIMENSIONS GIVEN ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.

ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE.

IT IS IMPORTANT THAT ALL DELIVERY TIME BE CHECKED AND HELDS FILED AGAINST MATERIALS AS REQUIRED TO MEET CONSTRUCTION SCHEDULE.

THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND THEREFORE MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIALS AND/OR MANUFACTURERS. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND/OR CUTS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS.

CONTRACTOR TO SEAL ALL PENETRATIONS, (E.G. FROM PIPES, DRILLED HOLES, ETC.) BETWEEN FLOORS AND WALLS. SCRIBE ALL FINISH MILLWORK TO WALLS, PARTITIONS, AND CEILINGS. PROVIDE SCRIBE MOULDING AS REQUIRED TO FINISH ALL MILLWORK TO WALLS, PARTITIONS, AND CEILINGS.

SEAL ALL CONTROL JOINTS WHERE EXPOSED TO VIEW. SEALANT COLOR SHALL MATCH THE COLOR OF THE FINISH MATERIAL.

PROVIDE WOOD BLOCKING IN ALL STUD WALLS AT MILLWORK AND SPECIAL ITEM ANCHORING POINTS.

IT IS THE INTENT OF THE DRAWINGS THAT ALL EXPOSED SURFACES RECEIVE FINISHES AS INDICATED ON THE DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE. THE GENERAL CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE COORDINATION OF THE COMPLETE FINISH-OUT OF THE PROJECT. ANY SURFACES WHICH DO NOT HAVE A SPECIFIC FINISH NOTED, NOR ARE NOTED TO REMAIN UNFINISHED, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND FINISHED PER THE

GYPSUM BOARD WALLS AND CEILINGS SHALL HAVE A SMOOTH FINISH. PROVIDE USG DUROCK CEMENT BOARD AT ALL AREAS SUBJECT TO THE TEMPORARY (NFRCC) LABEL WHICH STATES THE LISTED U-VALUE FOR ALL PENETRATION PRODUCTS SHALL NOT BE REMOVED PRIOR TO SATISFACTION OF FIRE CHIEF, PUBLIC WORKS DIRECTOR, CHIEF BUILDING OFFICIAL AND POLICE CHIEF, AS APPLICABLE.

ALL GRADED SURFACES AND MATERIALS, WHETHER FILED, EXCAVATED, TRANSPORTED OR STOCKPILED, SHALL BE WETTED, PROTECTED OR CONTENTED IN SUCH A MANNER AS TO PREVENT ANY NUISANCE FROM DUST, OR SPILLAGE UPON ADJOINING PROPERTY OR STREETS. EQUIPMENT AND MATERIALS ON THE SITE SHOULD BE USED IN SUCH A MANNER AS TO AVOID EXCESSIVE DUST AND NOISE. ROADWAYS ON THE SITE SHALL BE UTILIZED TO PREVENT EXCESSIVE DUST. DIESEL OIL SHALL NOT BE UTILIZED TO LUBRICATE EQUIPMENT OR PARTS ON SITE.

THE APPLICANT SHALL COMPLY WITH ALL CONDITIONS SPECIFIED IN ORDINANCE 1056, TO SATISFACTION OF FIRE CHIEF, PUBLIC WORKS DIRECTOR, CHIEF BUILDING OFFICIAL AND POLICE CHIEF, AS APPLICABLE.

ALL CONDITIONS OF APPROVAL SHALL BE POSTED AT THE JOB SITE IN FULL PUBLIC VIEW. CONDITIONS SHALL BE PLACED IN A WEATHER-PROOF COVER, AND SHOULD INCLUDE THE TELEPHONE NUMBER OF THE DEVELOPER.

A FIRE SPRINKLER SYSTEM FOR THE ENTIRE HOUSE SHALL BE DESIGNED AND INSTALLED ACCORDING TO ALL FIRE CODES AND ORDINANCES BY A LICENSED FIRE SPRINKLER CONTRACTOR. A COPY OF THE FIRE SPRINKLER SYSTEM DESIGN PLANS AND SPECIFICATIONS SHALL BE SUBMITTED TO THE FIRE DEPARTMENT.

PROVIDE ADEQUATE MEANS FOR COLLECTING AND DIRECTING SUB-SURFACE WATERS TO THE STREET GUTTER, STORM DRAIN, OR OTHER APPROVED DRAIN STORM DRAINAGE SHALL BE DESIGNED TO DRAIN TOWARDS THE STREET FRONTAGE OR TO THE CITY STORM DRAIN SYSTEM.

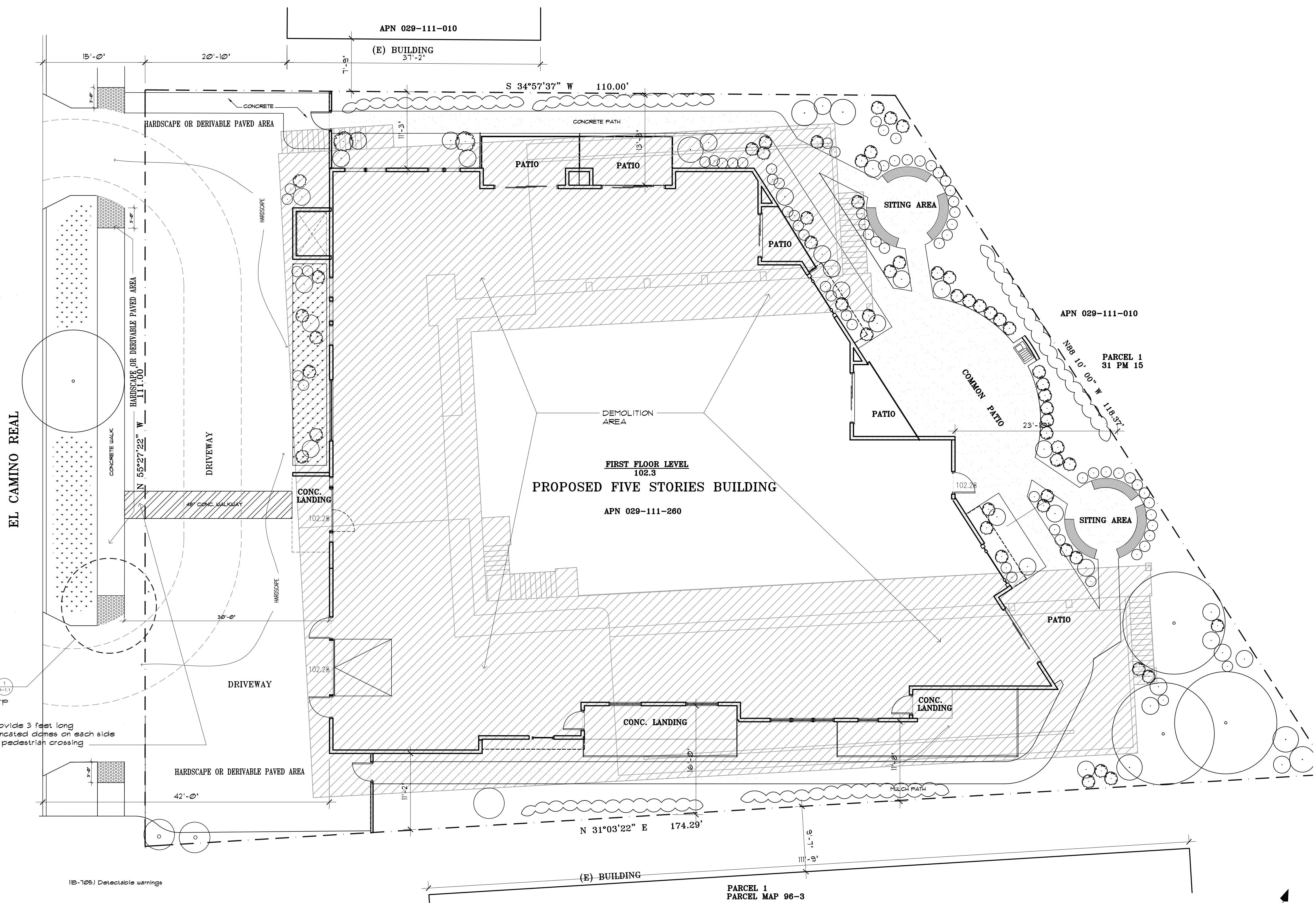
THE SERVICE COMPANIES PROVIDING NATURAL GAS, ELECTRICITY, WATER, CABLE, AND TELEPHONE SERVICE SHALL BE CONSULTED ON THE LOCATION AND SCHEDULING OF THIS WORK. THE SERVICE ENTRANCE AND THE METER LOCATION SHALL BE APPROVED BY THE ARCHITECT PRIOR TO THEIR INSTALLATION.

ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE STANDARDS. MAXIMUM FENCE HEIGHT SHALL NOT EXCEED 3 FEET IN THE FRONT YARD AND 6 FEET MAX. IN THE SIDE AND REAR YARD.

SITE NOTES

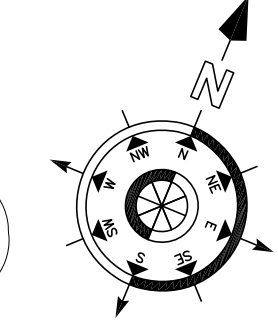
PROVIDE 3 feet long truncated domes on each side of pedestrian crossing

1



SITE PLAN - DEMOLITION PLAN

SCALE 1/8"=1'-0"



Construction Hours
 Weekdays: 7:00 a.m. - 7:00 p.m.
 Saturdays: 9:00 a.m. - 6:00 p.m.
 Sundays and Holidays: 10:00 a.m. - 6:00 p.m.
 (See City of Burlingame Municipal Code, Section 13.04.100 for details.)
 Construction hours in the City Public right-of-way are limited to weekdays and non-City Holidays between 8:00 a.m. and 5:00 p.m.
 Note: Construction hours for work in the public right of way must now be included on the plans.

OSHA permit will be obtained for the shoring* at the excavation in the basement per CAL I OSHA requirements.
 Grading Permit, if required, will be obtained from the Department of Public Works.

NOTE: A condition of this project approval is that the Demolition Permit will not be issued and, and no work can begin (including the removal of any building components), until a Building Permit has been issued for the project. The property owner is responsible for assuring that no work is authorized or performed.

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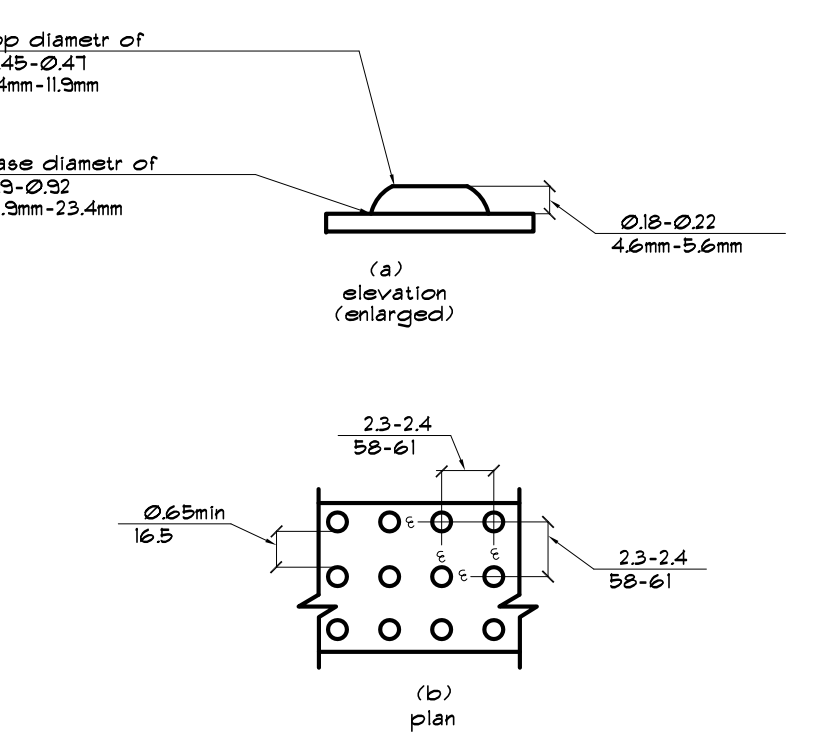


FIGURE 1B-105.1
 SIZE AND SPACING OF TRUNCATED DOMES

TITLE
 N.T.S.

REVISION	BY
09-01-2015	VTK
FIRE DIVISION	
11-09-2015	
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Alternate Means of Protection application will be submitted



**2013 CALIFORNIA GREEN BUILDING CODE
RESIDENTIAL CHECKLIST**

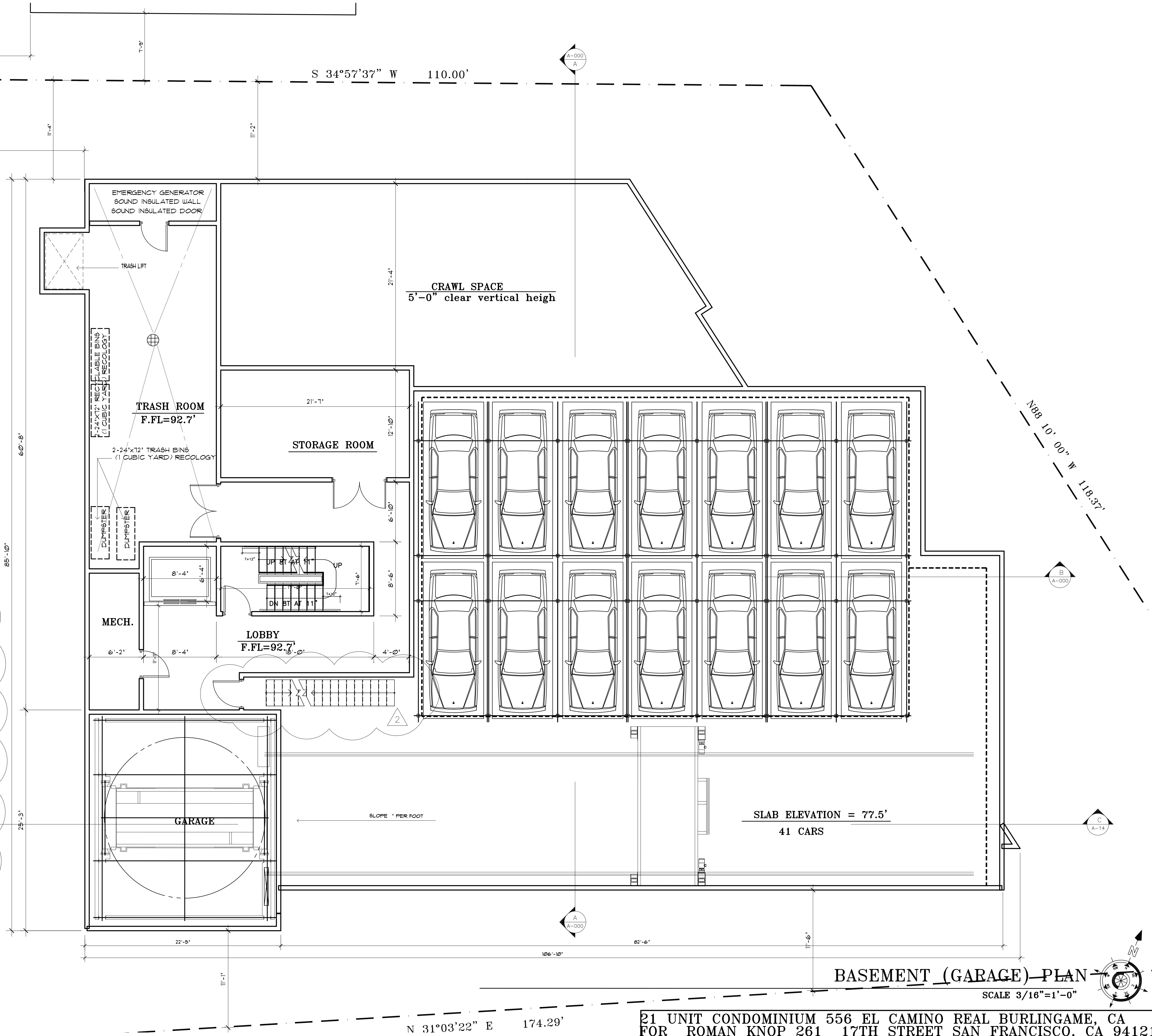
New residential buildings must be designed to include the Green Building mandatory measures specified in this checklist. These Green Building mandatory measures also apply to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. These requirements apply only to the specific area of addition or alteration.

Building Permit Number: _____
Site Address: _____

In the column labeled "Plan Reference" specify where each Measure can be found on the plans.

Green Building Measure	Plan Reference
SITE DEVELOPMENT (2013 CGC §4.106) A plan has been developed, and will be implemented, to manage storm water drainage during construction. CGC §4.106.2 & §4.106.3	
ENERGY EFFICIENCY (2013 CGC §4.2 and the 2013 California Building Energy Efficiency Standards) 2013 Energy Code performance compliance documentation must be provided in 8-1/2" X 11" format and must be replicated on the plans. Walls with 2 X 6 and larger framing require R-19 insulation §150.0 (c) 2 Hot water piping insulation §150.0 (j) 2 A ii Lighting – new mandatory requirements for indoor rooms. §150.0 (k) Duct insulation (R-6) required §150.0 (m) 1 Duct leakage testing – 6% with air handler and 4% without air handler §150.0 (m) 11 Return duct design/fan power, airflow testing, and grill sizing requirements §150.0 (m) 13 Water heating – 120 volt receptacle < 3 ft., Cat III or IV vent, and gas supply line capacity of at least 200,000 Btu / hour §150.0 (n) New third-party HERS verification for ventilation and indoor air quality §150.0 (o) New mandatory U-factor (0.38) for fenestration and skylights §150.0 (q) Luminaire efficiency levels 2013 California Energy Code Table 150.0 B Refrigerant charge verification for ducted package units, mini-splits, and other units §150.0 (c) 7 Radiant barrier now required in Climate Zone 3 §150.1 (c) 2 Reduce U-factor (0.32) and SHGC (0.25) for high performance windows §150.1 (c) 3 A	

Green Building Measure	Plan Reference
WATER EFFICIENCY AND CONSERVATION (2013 CGC §4.3) Plumbing fixtures (water closets and urinals) will comply with the following: 1. The effective flush volume of all water closets will not exceed 1.28 gal / flush. 2013 CGC §4.303.1.1 2. The effective flush volume of urinals will not exceed 0.5 gal / flush. 2013 CGC §4.303.1.2 The fittings for faucets and showerheads will have all required standards listed on the plans: 1.5 GPM for faucets and 2.0 GPM for showers. 2013 CGC §4.303.1.3 and 2013 CGC §4.303.1.4 An automatic irrigation system controller for landscaping will be provided by the builder and installed at the time of final inspection. 2013 CGC §4.304.1 ENHANCED DURABILITY AND REDUCED MAINTENANCE (2013 CGC §4.406) Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls will be rodent-proofed by closing such openings with cement mortar, concrete masonry, or similar method acceptable to the enforcing agency. 2013 CGC §4.406.1 CONSTRUCTION WASTE REDUCTION, DISPOSAL, AND RECYCLING (2013 CGC §4.408) A minimum of 60% of the non-hazardous construction and demolition waste generated at the site will be diverted to an offsite recycle, diversion, or salvage facility per City of Burlingame Ordinance # 1709 and 2013 CGC §4.408 BUILDING MAINTENANCE AND OPERATION (2013 CGC §4.410) An operation and maintenance manual will be provided to the building occupant or owner. 2013 CGC §4.410.1 FIREPLACES (2013 CGC §4.503) Any gas fireplaces will be direct vent, sealed-combustible type. 2013 CGC §4.503.1 Any wood stove or pellet stove will comply with US EPA Phase II emission limits. 2013 CGC §4.503.1 POLLUTANT CONTROL (CGC §4.504) At the time of rough installation, during storage on the construction site, and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution components openings will be covered with tape, plastic, sheet metals, or other methods acceptable to the enforcing agency to reduce the amount of water, dust, or debris that may enter the system. 2013 CGC §4.504.1 Adhesives, sealants, and caulks used on the project shall follow local and regional air pollution or air quality management district standards. 2013 CGC §4.504.2.1 Paints and coatings will comply with VOC limits per CGC §4.504.2.2 Aerosol paints and coatings will meet the Product-weighted MIR limits for ROC and other requirements. 2013 CGC §4.504.3 Documentation provided verifies compliance with VOC finish materials. 2013 CGC §4.504.2.4 Carpet system installed in the building interior will meet the testing and product requirements found in the 2013 California Green Building Code. 2013 CGC §4.504.3 Where resilient flooring is installed, at least 80% of the floor area receiving resilient flooring will comply with the California Green Building Code requirements. 2013 CGC §4.504.4 Hardwood plywood, particleboard, and medium density fiberboard composite wood products used on the interior and exterior of the building will comply with the low formaldehyde emission standards. 2013 CGC §4.504.5	

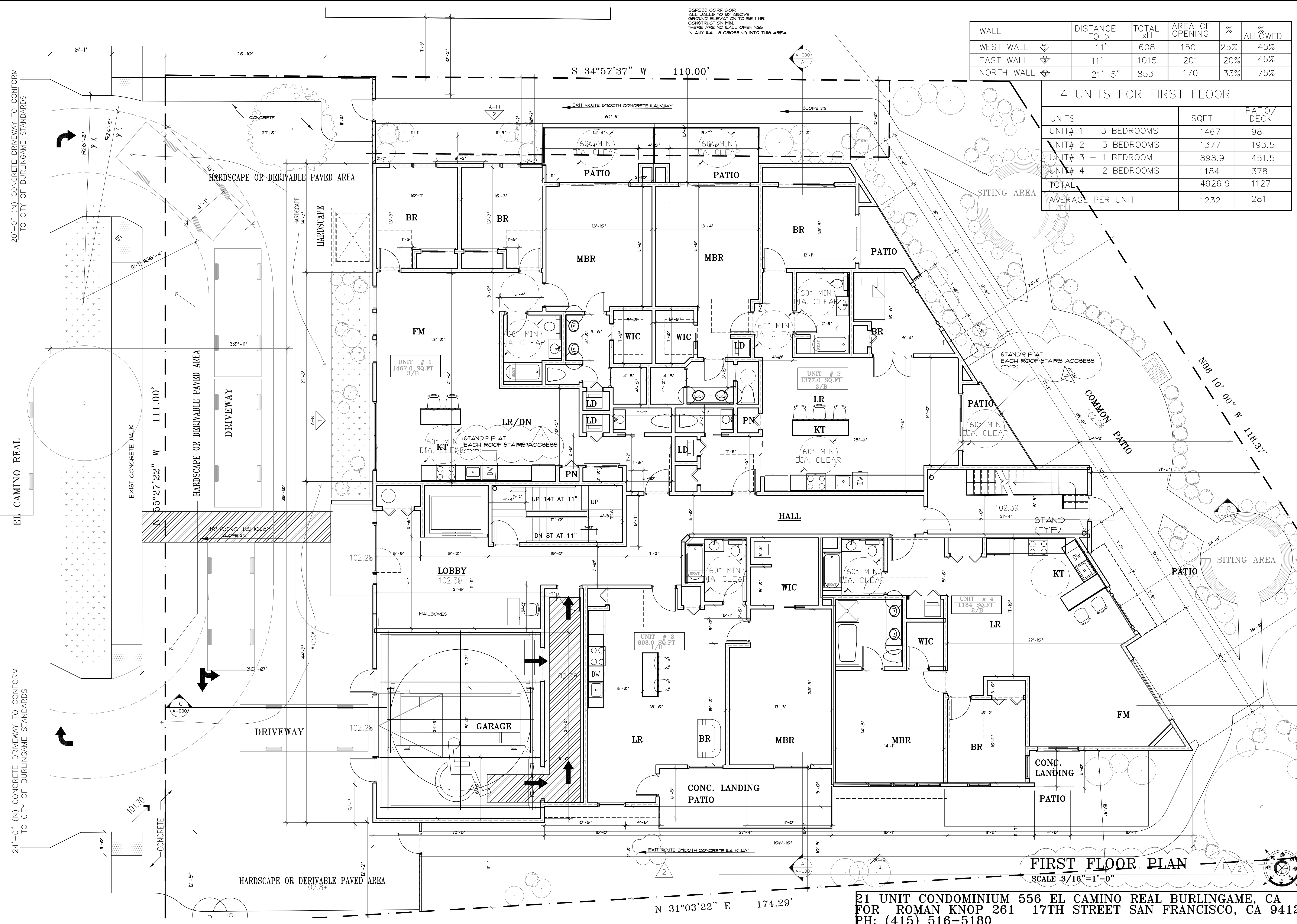


BASEMENT (GARAGE) PLAN

SCALE 3/16"=1'-0"

21 UNIT CONDOMINIUM 556 EL CAMINO REAL BURLINGAME, CA
FOR ROMAN KNOP 261 17TH STREET SAN FRANCISCO, CA 94121
PH: (415) 516-5180

REVISION	BY
09-01-2015	VTK
FIRE DIVISION	
11-09-2015	
V M K DESIGN GROUP VADIM MEIK-KARAOV CONCEPTUAL DESIGN, PLANNING, INTERIOR Ph: 408.554.6110 WWW.VMKDESIGNGROUP.COM VMK@VPS.NET Fx: 408.516.9490 3777 STEVENS CREEK BLVD. SUITE 420 SANTA CLARA CA 95051	
NEW IMAGE DESIGN ENGINEERING & PLANNING Registered Engineer Lic. #35441 2208 Vizcaya Cir. Campbell, CA Tel. (408) 879-8599 E-mail nidesign@yahoo.com	
556 EL CAMINO REAL BURLINGAME, CA	
DATE	09/07/15
SCALE	3/16"=1'-0"
DRAWN	VTK
JOB	ROMAN
SHEET	A-1.1
OF	SHEETS



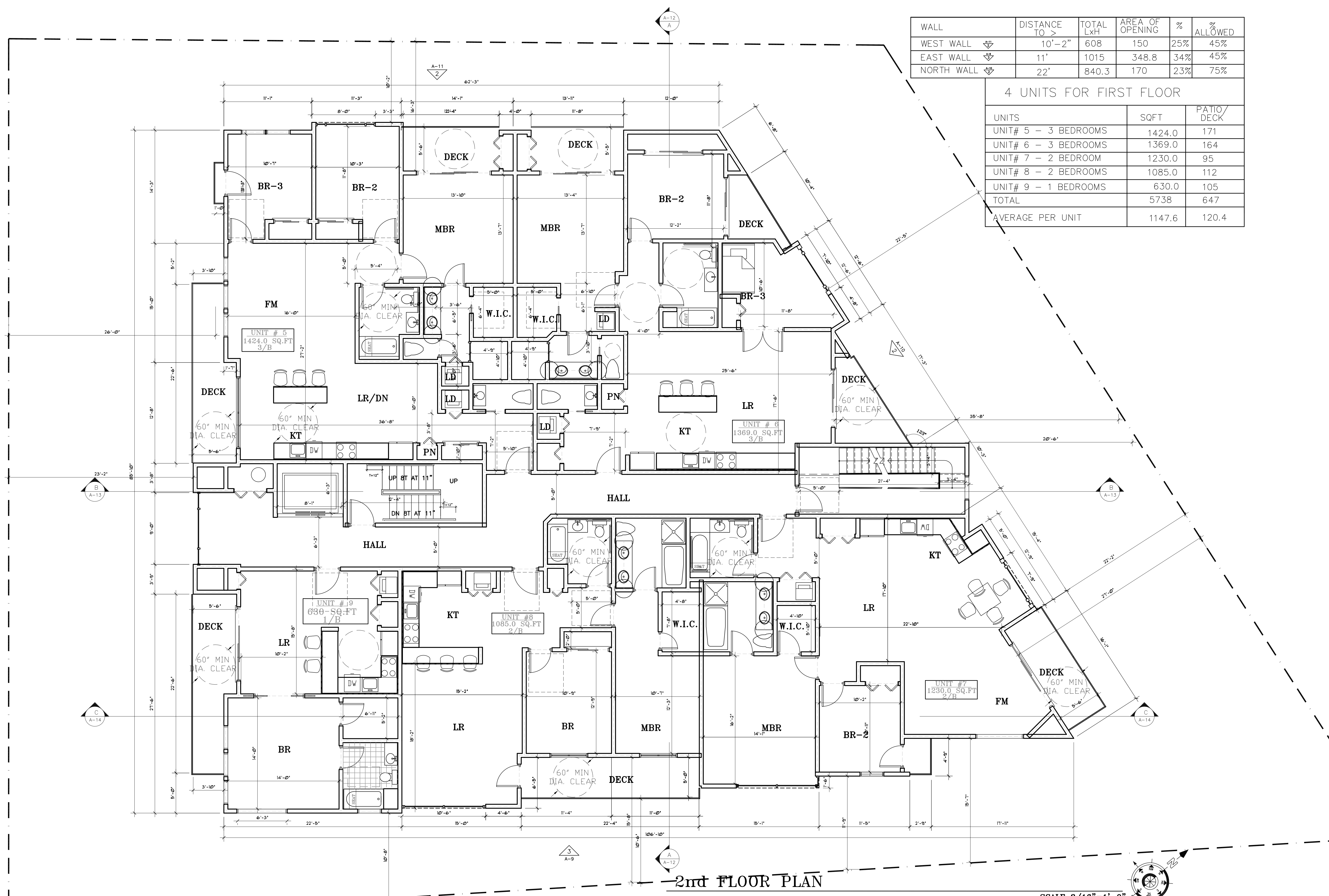
WALL	DISTANCE TO >	TOTAL LxH	AREA OF OPENING	%	% ALLOWED
WEST WALL	11'	608	150	25%	45%
EAST WALL	11'	1015	201	20%	45%
NORTH WALL	21'-5"	853	170	33%	75%

4 UNITS FOR FIRST FLOOR		
UNITS	SQFT	PATIO/DECK
UNIT# 1 - 3 BEDROOMS	1467	98
UNIT# 2 - 3 BEDROOMS	1377	193.5
UNIT# 3 - 1 BEDROOM	898.9	451.5
UNIT# 4 - 2 BEDROOMS	1184	378
TOTAL	4926.9	1127
AVERAGE PER UNIT	1232	281

FIRST FLOOR PLAN
SCALE 3/16" = 1'-0"

21 UNIT CONDOMINIUM 556 EL CAMINO REAL BURLINGAME, CA
FOR ROMAN KNOP 261 17TH STREET SAN FRANCISCO, CA 94121
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556 EL CAMINO REAL BURLINGAME, CA	
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SCALE	3/16" = 1'-0"
DRAWN	VTK
JOB	ROMAN
SHEET	A-2
OF	SHEETS



WALL	DISTANCE TO >	TOTAL LxH	AREA OF OPENING	%	% ALLOWED
WEST WALL	10'-2"	608	150	25%	45%
EAST WALL	11'	1015	348.8	34%	45%
NORTH WALL	22'	840.3	170	23%	75%

4 UNITS FOR FIRST FLOOR

UNITS	SQFT	PATIO/DECK
UNIT# 5 - 3 BEDROOMS	1424.0	171
UNIT# 6 - 3 BEDROOMS	1369.0	164
UNIT# 7 - 2 BEDROOM	1230.0	95
UNIT# 8 - 2 BEDROOMS	1085.0	112
UNIT# 9 - 1 BEDROOMS	630.0	105
TOTAL	5738	647
AVERAGE PER UNIT	1147.6	120.4

2nd FLOOR PLAN

SCALE 3/16"=1'-0"

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09-01-2015	VTK

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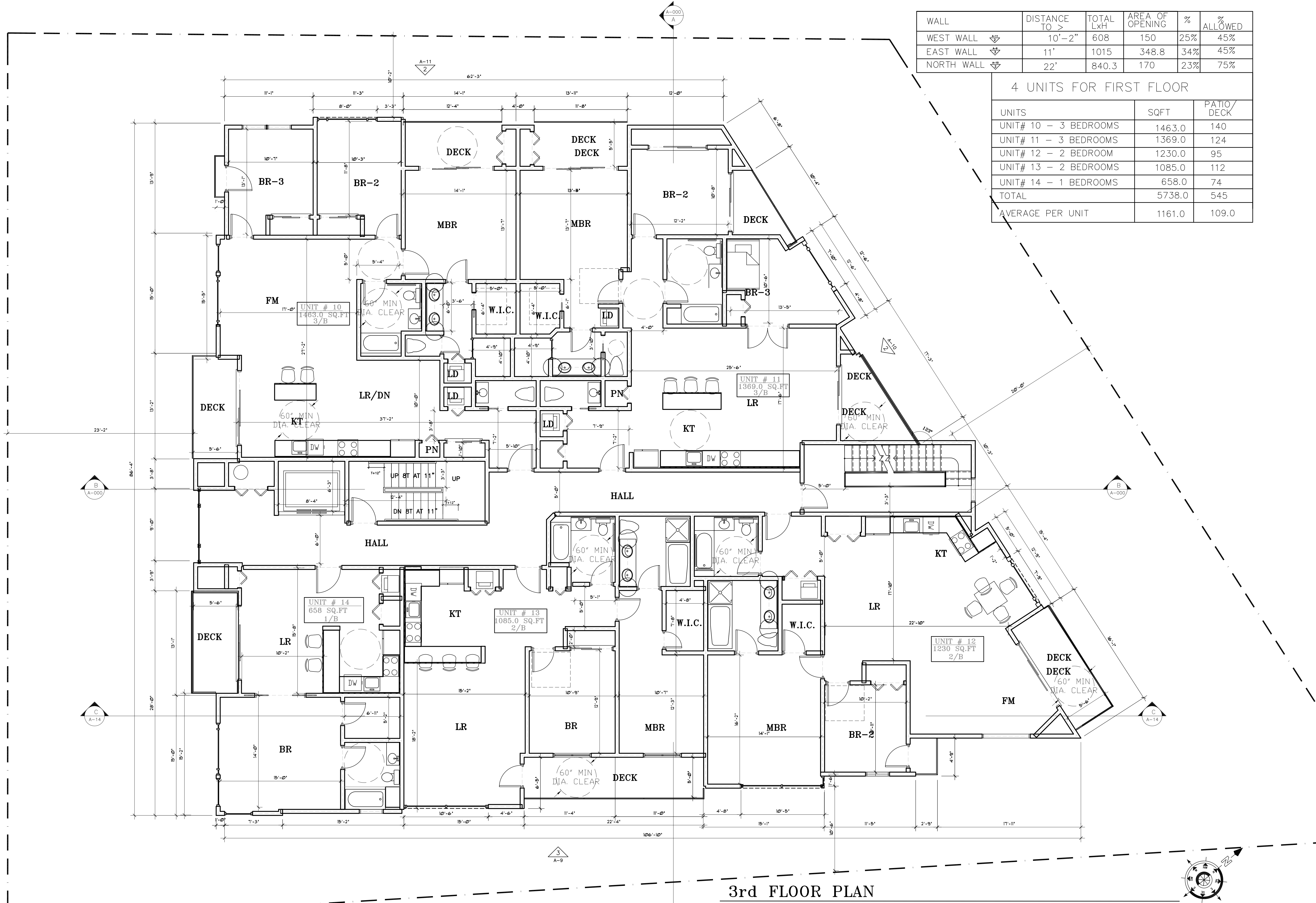
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 E-mail nidesign@yahoo.com

556 EL CAMINO REAL
 BURLINGAME, CA

DATE	09/03/14
SCALE	3/16"=1'-0"
DRAWN	VTK
JOB	ROMAN
SHEET	A-3
OF	SHEETS

WALL	DISTANCE TO >	TOTAL LxH	AREA OF OPENING	%	% ALLOWED
WEST WALL	10'-2"	608	150	25%	45%
EAST WALL	11'	1015	348.8	34%	45%
NORTH WALL	22'	840.3	170	23%	75%

4 UNITS FOR FIRST FLOOR		
UNITS	SQFT	PATIO/DECK
UNIT# 10 - 3 BEDROOMS	1463.0	140
UNIT# 11 - 3 BEDROOMS	1369.0	124
UNIT# 12 - 2 BEDROOM	1230.0	95
UNIT# 13 - 2 BEDROOMS	1085.0	112
UNIT# 14 - 1 BEDROOMS	658.0	74
TOTAL	5738.0	545
AVERAGE PER UNIT	1161.0	109.0



3rd FLOOR PLAN

SCALE 3/16"=1'-0"

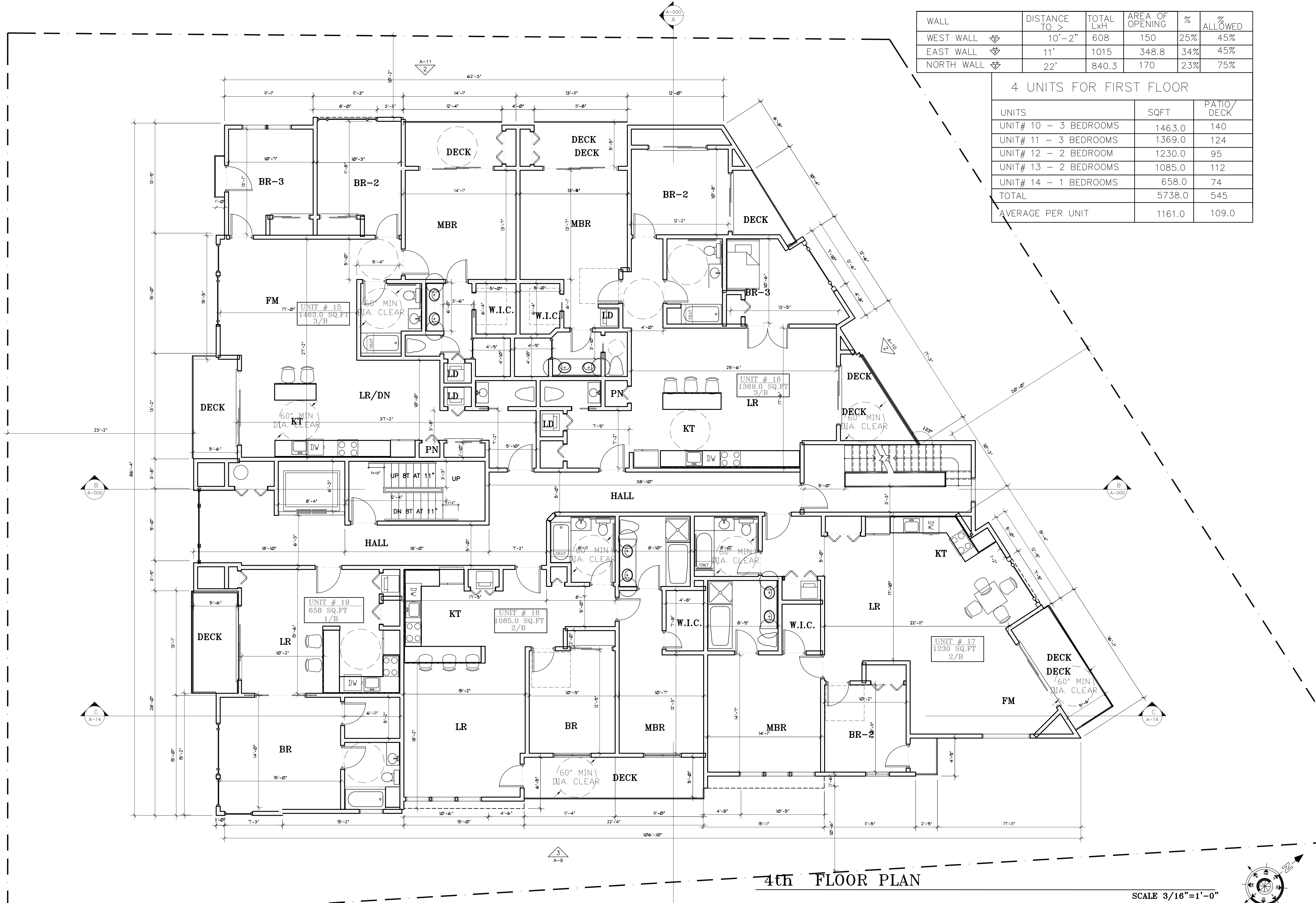
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<p>556 EL CAMINO REAL BURLINGAME, CA</p>	
DATE	09/03/14
SCALE	3/16"=1'-0"
DRAWN	VTK
JOB	ROMAN
SHEET	A-4
OF	SHEETS

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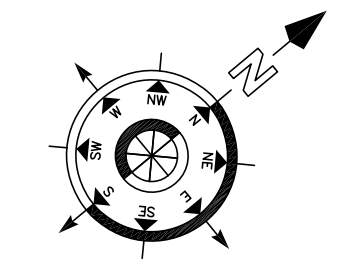
WALL	DISTANCE TO >	TOTAL LxH	AREA OF OPENING	%	% ALLOWED
WEST WALL	10'-2"	608	150	25%	45%
EAST WALL	11'	1015	348.8	34%	45%
NORTH WALL	22'	840.3	170	23%	75%

4 UNITS FOR FIRST FLOOR		
UNITS	SQFT	PATIO/DECK
UNIT# 10 - 3 BEDROOMS	1463.0	140
UNIT# 11 - 3 BEDROOMS	1369.0	124
UNIT# 12 - 2 BEDROOM	1230.0	95
UNIT# 13 - 2 BEDROOMS	1085.0	112
UNIT# 14 - 1 BEDROOMS	658.0	74
TOTAL	5738.0	545
AVERAGE PER UNIT	1161.0	109.0



4th FLOOR PLAN

SCALE 3/16"=1'-0"



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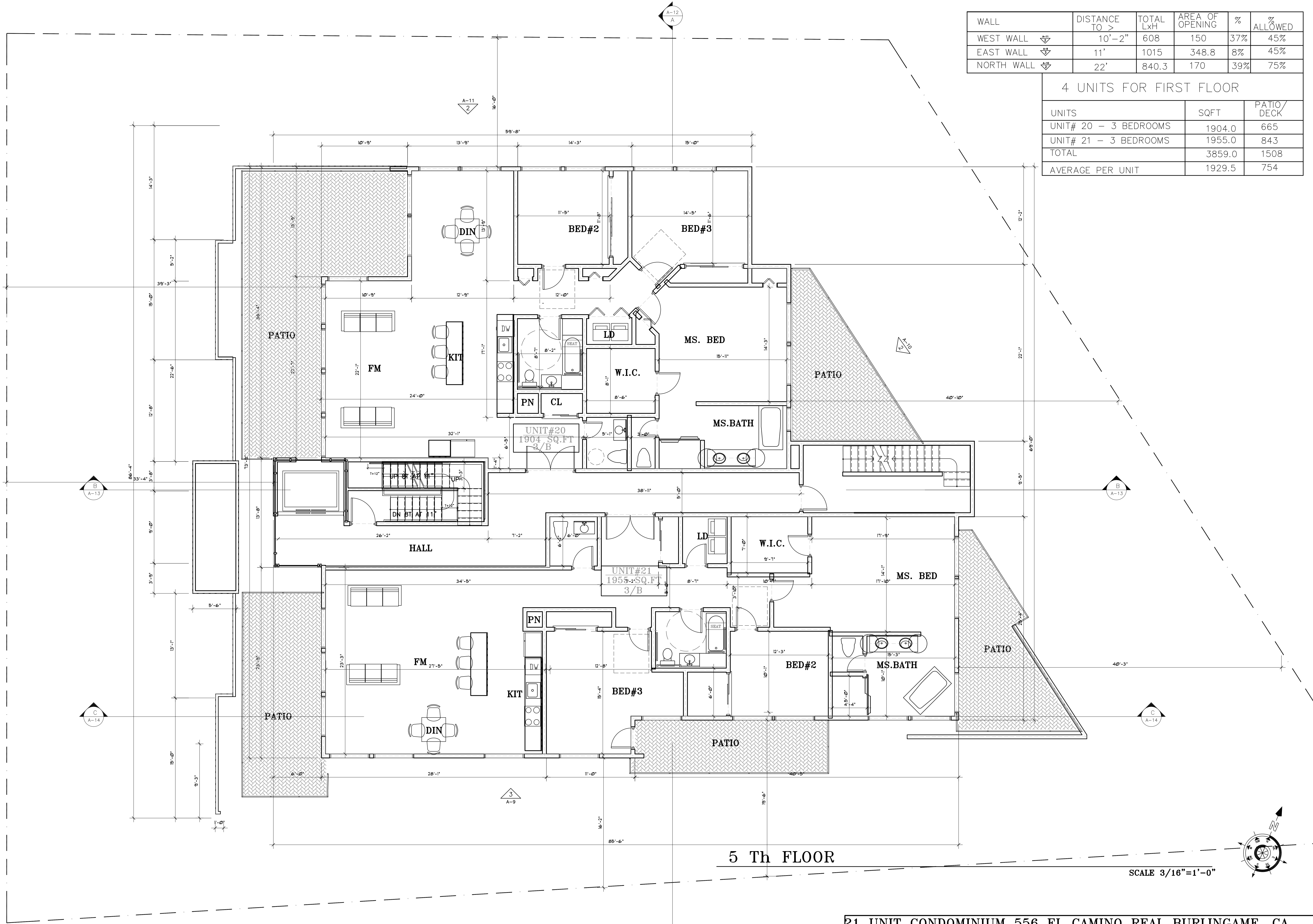
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<p>556 EL CAMINO REAL BURLINGAME, CA</p>	
DATE	09/03/14
SCALE	3/16"=1'-0"
DRAWN	VTK
JOB	ROMAN
SHEET	A-5
OF	SHEETS

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 SUITE 420
 SANTA CLARA CA 95051

WALL	DISTANCE TO >	TOTAL LxH	AREA OF OPENING	%	% ALLOWED
WEST WALL	10'-2"	608	150	37%	45%
EAST WALL	11'	1015	348.8	8%	45%
NORTH WALL	22'	840.3	170	39%	75%

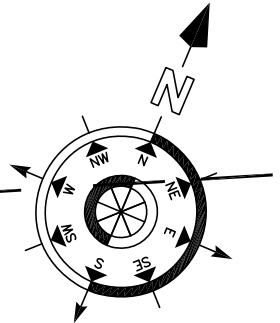
4 UNITS FOR FIRST FLOOR

UNITS	SQFT	PATIO/DECK
UNIT# 20 - 3 BEDROOMS	1904.0	665
UNIT# 21 - 3 BEDROOMS	1955.0	843
TOTAL	3859.0	1508
AVERAGE PER UNIT	1929.5	754



5 Th FLOOR

SCALE 3/16"=1'-0"



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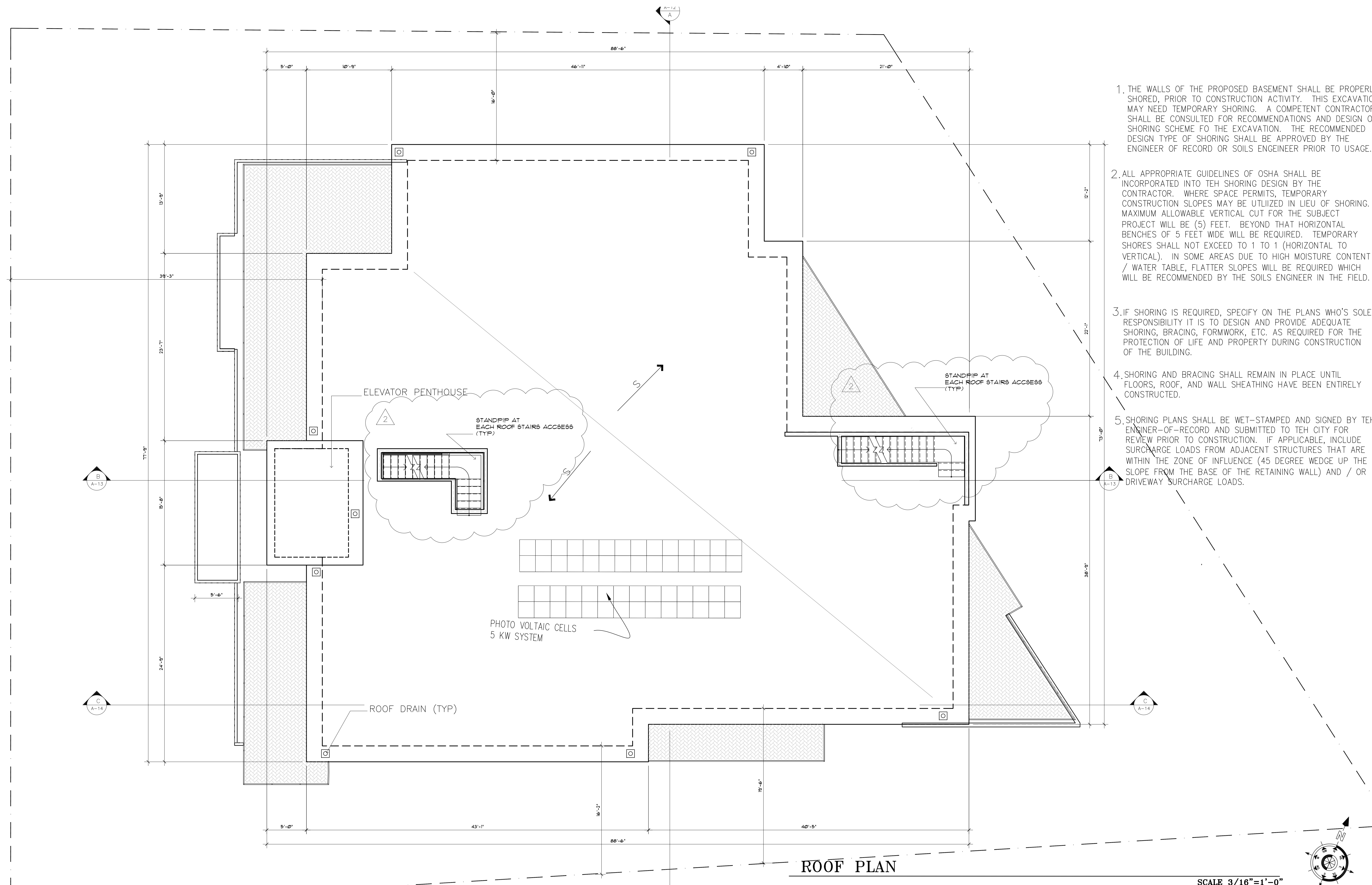
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 BURLINGAME, CA

DATE	09/03/14
SCALE	3/16"=1'-0"
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JOB	ROMAN
SHEET	A-6
OF SHEETS	6



1. THE WALLS OF THE PROPOSED BASEMENT SHALL BE PROPERLY SHORED, PRIOR TO CONSTRUCTION ACTIVITY. THIS EXCAVATION MAY NEED TEMPORARY SHORING. A COMPETENT CONTRACTOR SHALL BE CONSULTED FOR RECOMMENDATIONS AND DESIGN OF SHORING SCHEME FOR THE EXCAVATION. THE RECOMMENDED DESIGN TYPE OF SHORING SHALL BE APPROVED BY THE ENGINEER OF RECORD OR SOILS ENGINEER PRIOR TO USAGE.
2. ALL APPROPRIATE GUIDELINES OF OSHA SHALL BE INCORPORATED INTO THE SHORING DESIGN BY THE CONTRACTOR. WHERE SPACE PERMITS, TEMPORARY CONSTRUCTION SLOPES MAY BE UTILIZED IN LIEU OF SHORING. MAXIMUM ALLOWABLE VERTICAL CUT FOR THE SUBJECT PROJECT WILL BE (5) FEET. BEYOND THAT HORIZONTAL BENCHES OF 5 FEET WIDE WILL BE REQUIRED. TEMPORARY SHORES SHALL NOT EXCEED TO 1 TO 1 (HORIZONTAL TO VERTICAL). IN SOME AREAS DUE TO HIGH MOISTURE CONTENT / WATER TABLE, FLATTER SLOPES WILL BE REQUIRED WHICH WILL BE RECOMMENDED BY THE SOILS ENGINEER IN THE FIELD.
3. IF SHORING IS REQUIRED, SPECIFY ON THE PLANS WHO'S SOLE RESPONSIBILITY IT IS TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, FORMWORK, ETC. AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION OF THE BUILDING.
4. SHORING AND BRACING SHALL REMAIN IN PLACE UNTIL FLOORS, ROOF, AND WALL SHEATHING HAVE BEEN ENTIRELY CONSTRUCTED.
5. SHORING PLANS SHALL BE WET-STAMPED AND SIGNED BY THE ENGINEER-OF-RECORD AND SUBMITTED TO THE CITY FOR REVIEW PRIOR TO CONSTRUCTION. IF APPLICABLE, INCLUDE SURCHARGE LOADS FROM ADJACENT STRUCTURES THAT ARE WITHIN THE ZONE OF INFLUENCE (45 DEGREE WEDGE UP THE SLOPE FROM THE BASE OF THE RETAINING WALL) AND / OR DRIVEWAY SURCHARGE LOADS.

<p>REVISION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10px;">1</td> <td style="width: 80px;">09-01-2015</td> <td style="width: 10px;">VTK</td> </tr> </table> <p>FIRE DIVISION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10px;">1</td> <td style="width: 80px;">11-09-2015</td> <td></td> </tr> </table> <p>V M K DESIGN GROUP VADIM MEIK-KARAOV CONCEPTUAL DESIGN, PLANNING, INTERIOR WWW.VMKDESIGNGROUP.COM Ph: 408.554.6110 Ph: 408.516.9490 Fx: 408.516.9490 3777 STEVENS CREEK BLVD. SUITE 420 SANTA CLARA CA 95051</p>	1	09-01-2015	VTK	1	11-09-2015		<p>NEW IMAGE DESIGN ENGINEERING & PLANNING Registered Engineer Lic. #35441 2208 Vizcaya Cir. Campbell, CA Tel. (408) 879-8599 E-mail nidesign@yahoo.com</p> <p>556 EL CAMINO REAL BURLINGAME, CA</p> <p>DATE 09/07/15 SCALE 3/16"=1'-0" DRAWN VTK JOB ROMAN SHEET A-7 OF SHEETS</p>
1	09-01-2015	VTK					
1	11-09-2015						

21 UNIT CONDOMINIUM 556 EL CAMINO REAL BURLINGAME, CA
 FOR ROMAN KNOP 261 17TH STREET SAN FRANCISCO, CA 94121
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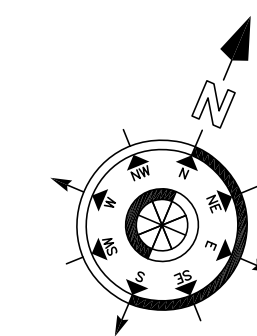
FRONT ELEVATION

ELEVATION

ENTRANCES / DOORS

1. ALL ACCESSIBLE ENTRANCES SHALL BE IDENTIFIED WITH AT LEAST ONE STANDARD SIGN AND WITH ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, VISIBLE FROM APPROACHING PEDESTRIAN WAYS.
2. EVERY REQUIRED ENTRANCE OR PASSAGE DOORWAY SHALL BE OF A SIZE AS TO PERMIT THE INSTALLATION OF A DOOR NOT LESS THAN 36 INCHES IN WIDTH, AND NOT LESS THAN 80 INCHES IN HEIGHT. DOORS SHALL BE CAPABLE OF OPENING AT LEAST 90 DEGREES AND SHALL BE MOUNTED SO THAT THE CLEAR WIDTH OF THE DOORWAY IS NOT LESS THAN 32 INCHES.
3. LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL, SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE.
4. LEVER HAND ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 30 INCHES AND 44 INCHES MAXIMUM ABOVE THE FLOOR.
5. THE FLOOR OR LANDING LENGTH ON EACH SIDE OF AN ENTRANCE OR A PASSAGE DOOR SHALL BE LEVEL AND CLEAR AT LEAST 60 INCHES IN THE DIRECTION OF THE DOOR SWING AND AT LEAST 48 INCHES OPPOSITE THE DIRECTION OF THE DOOR SWING AS MEASURED AT RIGHT ANGLES TO THE FACE OF THE DOOR IN THE CLOSED POSITION. THE WIDTH OF THE LEVEL AND CLEAR AREA ON THE SIDE WHICH THE DOOR SWINGS SHALL EXTEND A MINIMUM OF 24 INCHES PAST THE STRIKE EDGE OF THE DOOR FOR DOORS WITH LATCH SIDE APPROACH AND 36 INCHES FOR DOORS REQUIRING LATCH SIDE APPROACH. REFER TO DETAIL NO. 2 ON THIS DRAWING FOR ADDITIONAL CLEARANCE REQUIREMENTS.
6. THE FLOOR OR LANDING SHALL NOT BE MORE THAN 1/2 INCH LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGES IN LEVEL BETWEEN 1/4 INCH AND 1/2 INCH SHALL BE LEVELED WITH A SLOPE NO GREATER THAN 1:2.
7. THE BOTTOM 10 INCHES OF ALL DOORS (EXCEPT AUTOMATIC AND SLIDING) SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION WHERE NARROW FRAME DOORS ARE USED, A 10 INCH HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR, WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST.
8. THE MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS. FOR EXTERIOR DOORS AND 5 LBS. FOR INTERIOR DOORS. SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY NOT EXCEED 15 LBS.

SCALE 3/16"=1'-0"



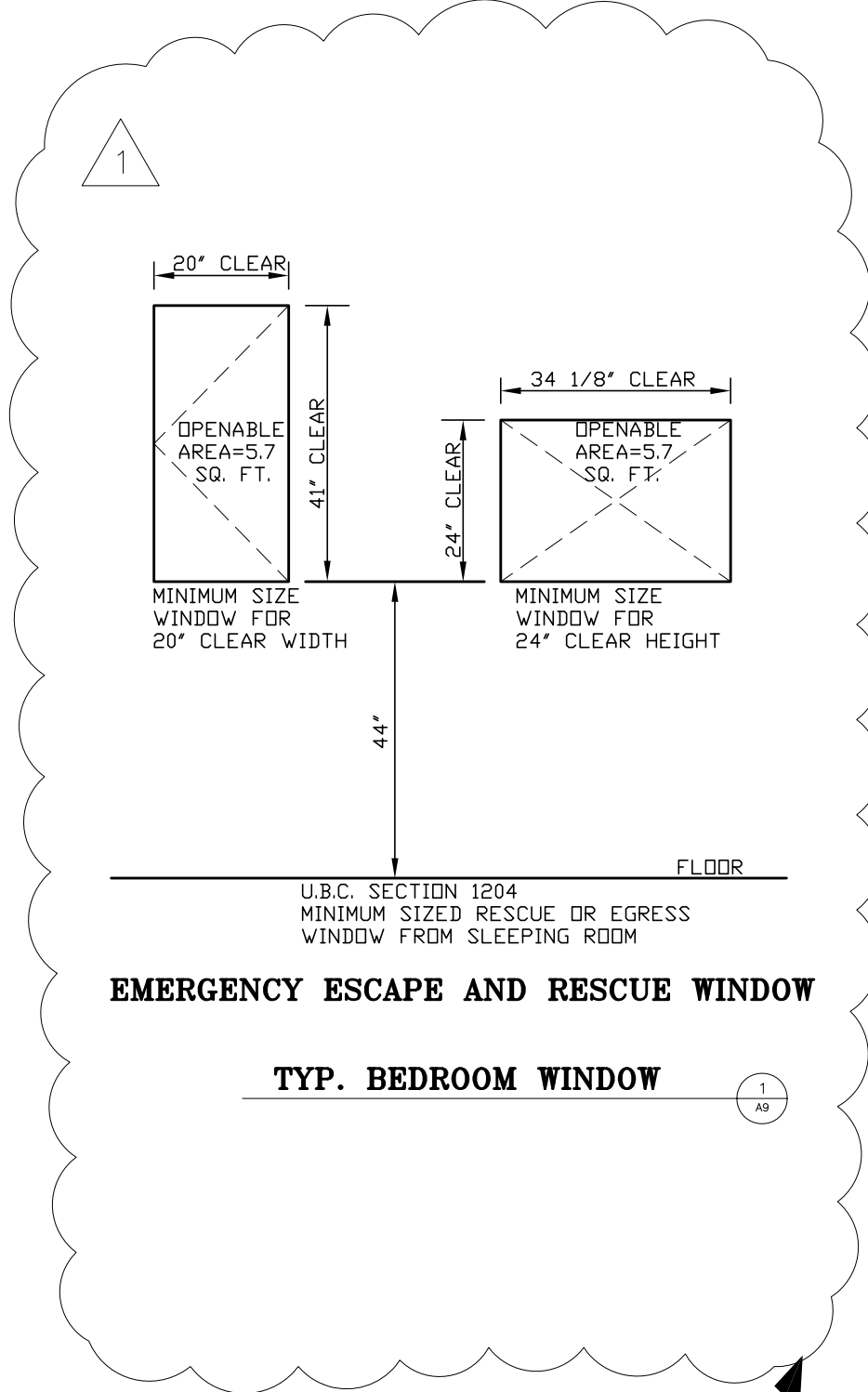
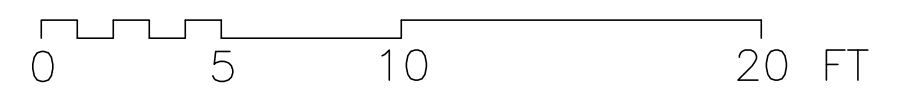
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RIGHT SIDE ELEVATION

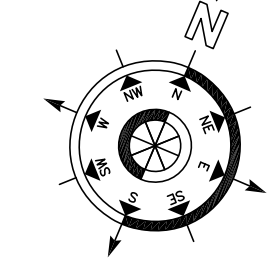
ELEVATION



EMERGENCY ESCAPE AND RESCUE WINDOW

TYP. BEDROOM WINDOW

SCALE 3/16"=1'-0"

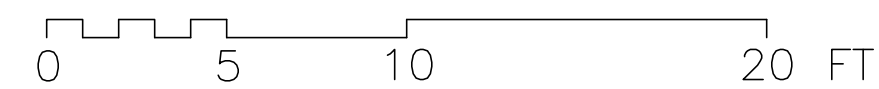


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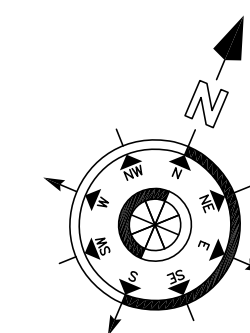


REAR ELEVATION



ELEVATION

SCALE 3/16"=1'-0"

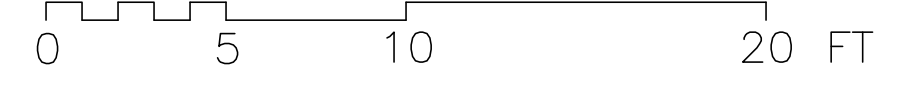


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<p>V M K DESIGN GROUP VADIM MEIK-KARAOV CONCEPTUAL DESIGN, PLANNING, INTERIOR Ph: 408.554.6110 WWW.VMKDESIGNGROUP.COM VMK@VPS.NET Fx: 408.516.9490 3777 STEVENS CREEK BLVD. SUITE 420 SANTA CLARA CA 95051</p>	
<p>NEW IMAGE DESIGN ENGINEERING & PLANNING Registered Engineer Lic. #35441 2208 Vizcaya Cir. Campbell, CA Tel. (408) 879-8599 E-mail nidesign@yahoo.com</p>	
<p>556 EL CAMINO REAL BURLINGAME, CA</p>	
DATE	09/03/14
SCALE	3/16"=1'-0"
DRAWN	VTK
JOB	ROMAN
SHEET	A-10
OF	SHEETS

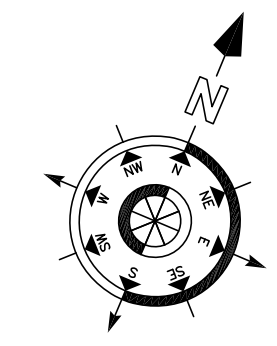


LEFT SIDE ELEVATION



ELEVATION

SCALE 3/16"=1'-0"



21 UNIT CONDOMINIUM 556 EL CAMINO REAL BURLINGAME, CA
 FOR ROMAN KNOP 261 17TH STREET SAN FRANCISCO, CA 94121
 PH: (415) 516-5180

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<p>556 EL CAMINO REAL BURLINGAME, CA</p>	
DATE	09/03/14
SCALE	3/16"=1'-0"
DRAWN	VTK
JOB	ROMAN
SHEET	A-11
OF	SHEETS

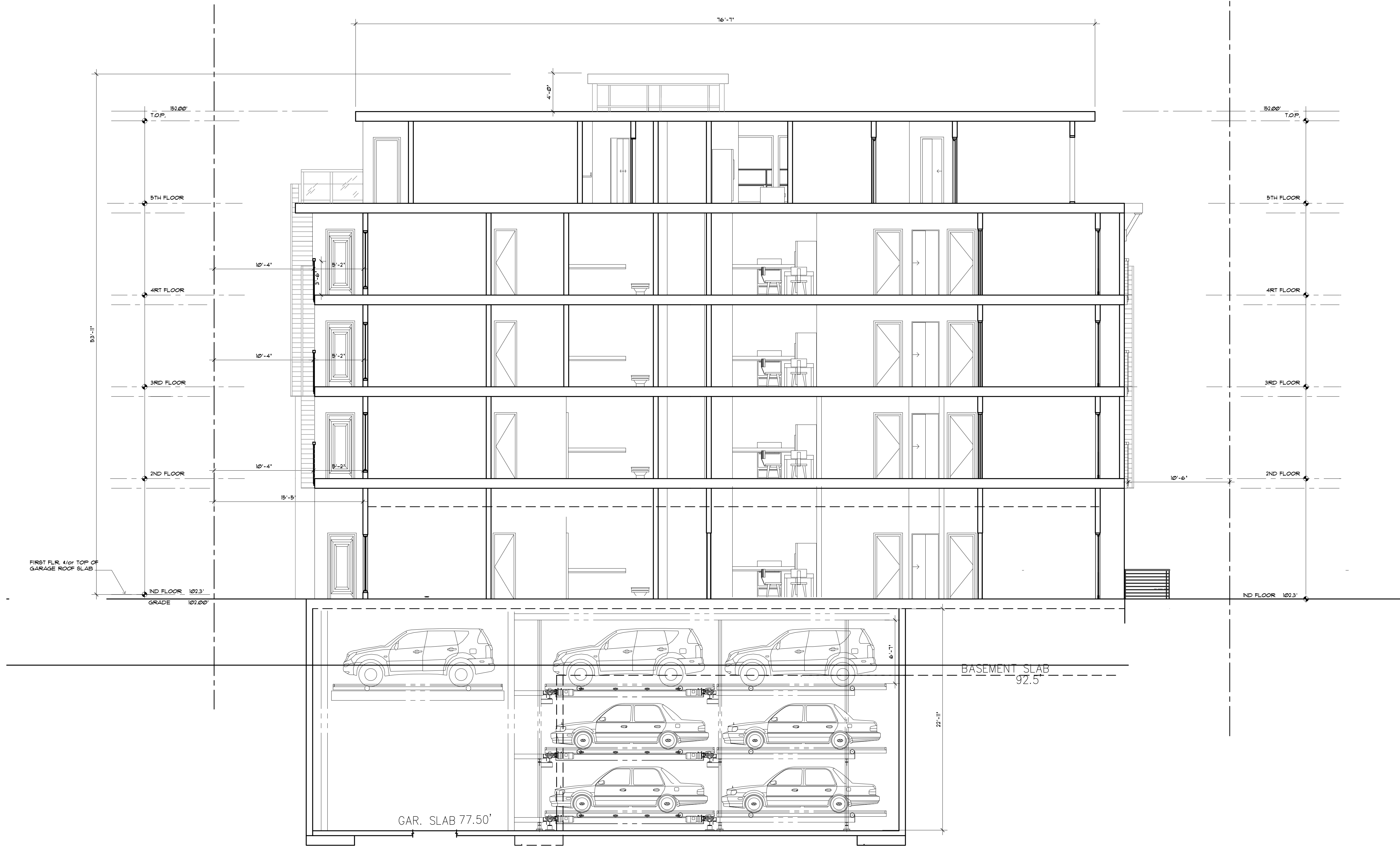
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 SANTA CLARA CA 95051

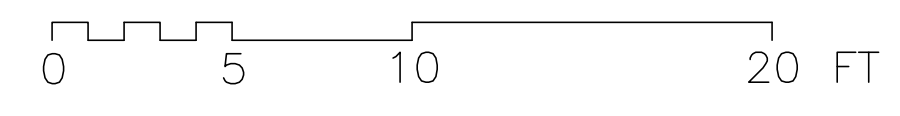
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556 EL CAMINO REAL
 BURLINGAME, CA

DATE	09/03/14
SCALE	3/16"=1'-0"
DRAWN	VTK
JOB	ROMAN
SHEET	A-12
OF	SHEETS

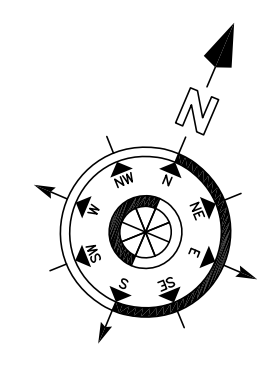


SECTION "A-A"

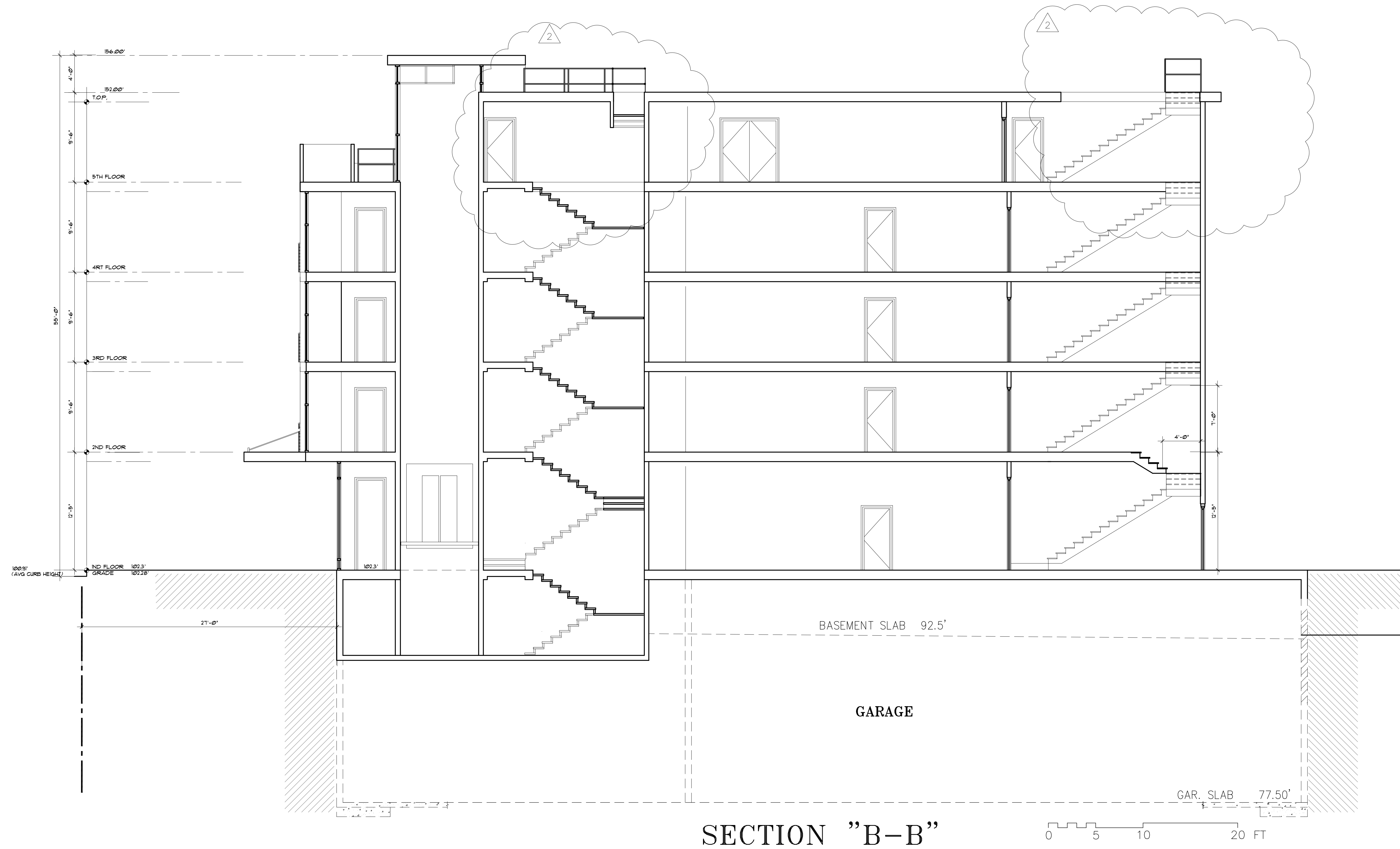


SECTION

SCALE 3/16"=1'-0"



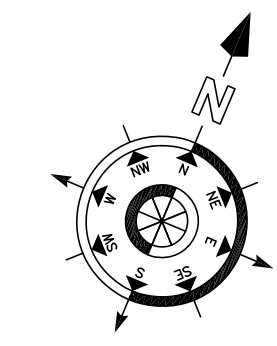
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SECTION "B-B"

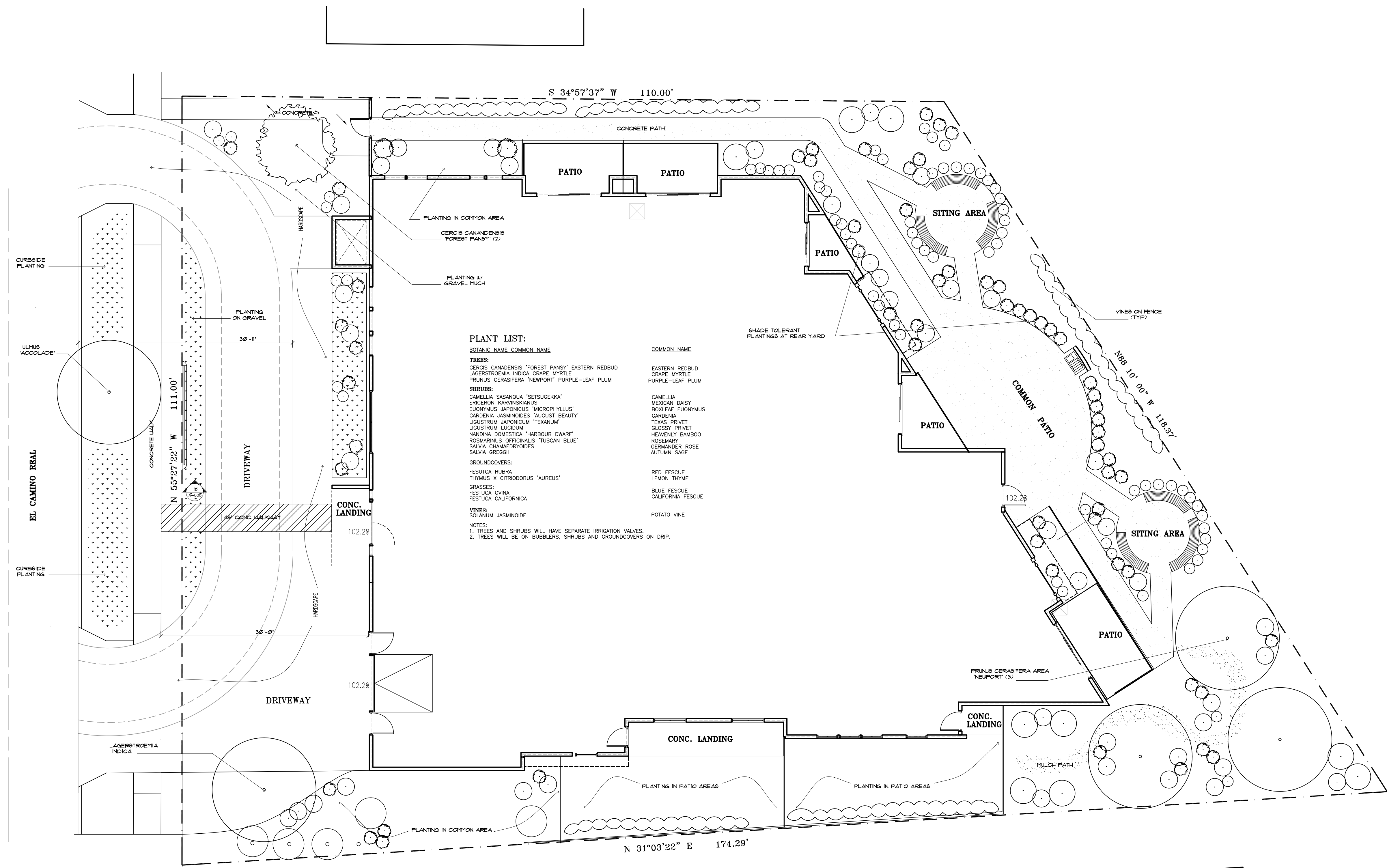
SECTION

SCALE 3/16"=1'-0"



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REVISION	BY
09-01-2015	VTK
FIRE DIVISION	
11-03-2015	
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556 EL CAMINO REAL BURLINGAME, CA	
DATE	09/03/14
SCALE	3/16"=1'-0"
DRAWN	VTK
JOB	ROMAN
SHEET	A-13
OF	SHEETS

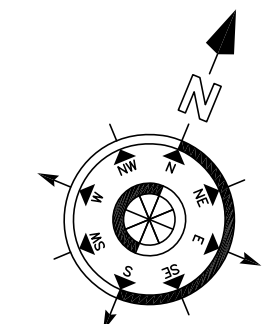


PLANT LIST:

BOTANIC NAME	COMMON NAME	COMMON NAME
TREES:		
CERCIS CANADENSIS 'FOREST PANSY'	EASTERN REDBUD	EASTERN REDBUD
LAGERSTROEMIA INDICA 'CRAPPE MYRTLE'	GRAPE MYRTLE	GRAPE MYRTLE
PRUNUS CERASIFERA 'NEWPORT'	PURPLE-LEAF PLUM	PURPLE-LEAF PLUM
SHRUBS:		
CAMELLIA SASANQUA 'SETSUGEKKA'	CAMELLIA	CAMELLIA
ERIGERON KARVINSKIANUS	MEXICAN DASY	MEXICAN DASY
EUONYMUS JAPONICUS 'MICROPHYLLUS'	BOXLEAF EUONYMUS	BOXLEAF EUONYMUS
GARDENIA JASMINOIDES 'AUGUST BEAUTY'	GARDENIA	GARDENIA
LIGUSTRUM JAPONICUM 'TEKANUM'	TEXAS PRIVET	TEXAS PRIVET
LIGUSTRUM LUCIDUM	GLOSSY PRIVET	GLOSSY PRIVET
NANDINA DOMESTICA 'HARBOR DWARF'	HEAVENLY BAMBOO	HEAVENLY BAMBOO
ROSMARINUS OFFICINALIS 'TUSCAN BLUE'	ROSEMARY	ROSEMARY
SALVIA CHAMAEOPYRIS	GERMANIER ROSE	GERMANIER ROSE
SALVIA GRECCII	AUTUMN SAGE	AUTUMN SAGE
GROUNDCOVERS:		
FESTUCA RUBRA	RED FESCUE	RED FESCUE
THYMUS X CITRIODORUS 'AUREUS'	LEMON THYME	LEMON THYME
GRASSES:		
FESTUCA OVINA	BLUE FESCUE	BLUE FESCUE
FESTUCA CALIFORNICA	CALIFORNIA FESCUE	CALIFORNIA FESCUE
VINES:		
SOLANUM JASMINOIDE	POTATO VINE	POTATO VINE

NOTES:
1. TREES AND SHRUBS WILL HAVE SEPARATE IRRIGATION VALVES.
2. TREES WILL BE ON BUBBLERS, SHRUBS AND GROUNDCOVERS ON DRIP.

FIRST FLOOR PLAN
SCALE 1/8"=1'-0"



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556 EL CAMINO REAL
BURLINGAME, CA

DATE	09/07/15
SCALE	1/8"=1'-0"
DRAWN	VTK
JOB	ROMAN
SHEET	L-2
OF	SHEETS